



# WOLSEY WALL

ARCHITECTURE & INTERIOR DESIGN

## Addendum

No.2

Date:

**April 11, 2025**

Project: 24.1095

**MCSC Lobby & General Improvements  
City of Kenora**

Issued By:

**(Wolsey Wall Architecture & Interior Design)**

*Co: electronic copy*

This Addendum forms part of contract documents and is to be read, interpreted, and coordinated with other parts. Cost of everything contained herein is to be included in contract sum. Following revisions supersede information contained in original drawings and specifications issued for above-named project to extent referenced and become part of thereof. Acknowledge receipt of this Addendum by inserting its number and date on the Tender Form. Failure to do so may subject bidder to disqualification.

### Written Addendum No.2

### No. of Pages: 5

Architectural:	1 page (included in written Addendum)
Structural:	0 pages
Mechanical:	3 pages
Electrical:	0 pages
Specifications:	1 Page (included in written Addendum)
Requests for Product Substitutions	1 Page (included in written Addendum)

### Drawings

### No. of Pages: 9

Architectural:	4 pages
Structural	0 pages
Mechanical:	5 pages
Electrical:	0 pages

**Total:**

**14 pages**

**Brian G. Wall**, Architect, maa, aibc, oaa, mraic, aia assoc., D. Arch; CT(Arch) • email: [brian@wolseywall.com](mailto:brian@wolseywall.com)

**Jeni Wolsey**, Interior Designer, B. ID Honours • email: [jeni@wolseywall.com](mailto:jeni@wolseywall.com)

Winnipeg, MB 204.292.4966 | Kelowna, BC 778.363.4916 | Kenora, ON 204.292.4966

## **1.0 ARCHITECTURAL**

Refer to attached drawings **21.1095 – A100r1**, with changes summarized below:

1. Additional notes pertaining to the demolition, removal and salvage of the existing rink door and glazing steel framed assemblies, relative to Separate Price #1
2. Additional demolition notes to include the salvage of the existing “Kenora Thistles” signage.

Refer to attached drawings **21.1095 – A200r1**, with changes summarized below:

1. Additional notes, specifications and revisions to the Door Schedule

Refer to attached drawings **21.1095 – A201r1**, with changes summarized below:

1. Additional notes, specifications and revisions to the Door Schedule

Refer to attached drawings **21.1095 – A602r1**, with changes summarized below:

1. Separate Price #1 – Elevation drawing revisions.
2. Additional notes to Graphic Wall at Washrooms

## **2.0 STRUCTURAL**

N/A

## **3.0 MECHANICAL**

Refer to the attached Mechanical Addendum **231549-M Addendum 02**

## **4.0 ELECTRICAL**

N/A

## **5.0 SPECIFICATIONS**

N/A

## **6.0 REQUESTS FOR PRODUCT SUBSTITUTIONS**

1. Specified Product: **Stanley Duraglide**  
Acceptable Equal: **Besam - Model SL500 Automatic Sliding Door**





## ADDENDUM

Project Number: 231549  
Doc No. M Addendum 02

All items listed form part of the Tender documents and shall be included in tender bid. All specifications and notes of the original tender documents apply hereto.

02

To: Wolsey Wall  
Attention: Craig Enns  
From: Chris Paraschiv

Project: Name: Moncrief Construction Sports Center Reno  
Project Number: 231549  
Date: April 11, 2025  
Discipline: Mechanical  
Re: M Addendum 02

### Questions:

No.	Questions Received During Tender	Answers
1	Can you see if there is a specific control system at the sports center?	The building has an existing BAS system from the time of original construction. Based on our conversations with MCSC staff our understanding is that the work at the time was completed by BSD Solutions (Ainsworth). However, we have also been told the system is currently being serviced by Duratec Automated Solutions Ltd.
2	I see notes to connect to the BAS system but don't see who's control system it is. We would need to use the same company and system to do this?	Approved BAS control system contractors are as follows: <ul style="list-style-type: none"><li>• Duratec Automated Solutions Ltd (431-997-2652).</li><li>• Ainsworth (204-661-4600).</li></ul>

### 1.0 Drawing Revisions

- 1.1 Refer to Drawing M2.0 Lobby and Multi-Purpose Room HVAC – Demolition Plan date March 26, 2025  
.1 Drawing has been reissued with clearer background and with furniture removed.
- 1.2 Refer to Drawing M2.1 Lobby and Multi-Purpose Room Hydronic – Demolition Plan date March 26, 2025  
.1 Drawing has been reissued with clearer background and with furniture removed
- 1.3 Refer to Drawing M3.1 Lobby and Multi-Purpose Room HVAC – Renovation Plan dated March 26, 2025.  
.1 Drawing has been reissued with ceiling grid shown on background

T:\231000\231549 Kenora Sports Centre Renovation\15000 Mechanical\05 Addendum\ADDM02\231549-M Addendum 02.docx

# ADDENDUM

Project Number: 231549  
Doc No. 231549-M Addendum 02  
Page 2 of 3

*All items listed form part of the Tender documents and shall be included in tender bid. All specifications and notes of the original tender documents apply hereto.*

- .2 Relocate VAV box VAV-1.N to be above existing acoustic ceiling in the lobby. Modify new duct layout to suit location. Refer to clouded revisions on revised mechanical drawing.
- 1.4 Refer to Drawing M3.2 Lobby and Multi-Purpose Room Hydronic – Renovation Plan dated March 26, 2025.
  - .1 Relocate reheat coil RH-2.N to as per clouded revision on revised mechanical drawings.
- 1.5 Refer to Drawing M3.3 Lobby and Multi-Purpose Room Fire Protection – Renovation Plan dated March 26, 2025.
  - .1 Drawing has been reissued with ceiling grid shown on background.
- 1.6 Refer to Drawing M5.0 Schedules – dated March 26, 2025
  - .1 Under Air Curtain Schedule add the following note:
    - .1 Provide automation control package version of comfort plus control package to allow air curtain to interact with building automation systems (BAS).
- 1.7 Refer to Drawing M6.3 Specifications (3 of 3)
  - .1 Under Section 23 90 00 – Controls
    - .1 Add Section 1.1.8 as follows
      - .1 Approved BAS control system contractors are as follows:
        - 1. Duratec Automated Solutions Ltd (431-997-2652).
        - 2. Ainsworth (204-661-4600).
    - .2 Add Section 2.3 AIR CURTAINS (WITH ELECTRIC HEAT)
      - .1 Control shall be by the building automation system and by manufacturer controls package.
      - .2 Occupied Hours:
        - 1. When door is open air curtain fan(s) shall energize on high speed. Electric heater shall be energized as required and as directed by air curtain manufacturer controls package.
        - 2. When door is closed, air curtain fan(s) shall energize on low speed and electric heater shall energize to provide supplemental heat unit thermostat is satisfied.
      - .3 Unoccupied Hours:
        - 1. Air curtain fan(s) and electric heater shall be energized to maintain night setback temperature as programmed by thermostat and base building control system.
        - 2.
      - .4 Monitor/Control
        - 1. Space Temperature.
        - 2. Space Temperature Set Point.
        - 3. Fan Status.
  - .3 Under Section 2.2 VAV BOX (WITH ELECTRIC HEAT)
    - .1 Add Section 2.2.4 Ventilation Control (Where CO2 Sensor is present) as follows:
      - 1. The CO2 sensor shall monitor the air quality of the indicated space. Refer to drawings.

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Page 3 of 3

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- .2 When the space air quality sensor reading is below adjustable setpoint (space air quality good), heating and cooling shall operate as described in section 2.2 above.
- .3 When the space air quality sensor is above the setpoint (space air quality poor):
  1. The VAV box shall modulate open to supply ventilation air into the space and the electric reheat coil shall energize and modulate to maintain space temperature setpoint.
  2. When the space air quality sensor has been satisfied, heating and cooling shall operate normally as described in section 2.2 above.

## 2.0 Acceptable Manufacturers

As submitted, the following manufacturers have been reviewed and accepted as "Equal" or "Alternate" manufacturers to those specified. Final acceptance of the proposed products/items is subject to the review of the shop drawings and the subsequent conformance of the proposed products/items with the specified products' capabilities and features. Manufacturers reviewed as being accepted shall be subject to the provisions of all applicable specification sections.

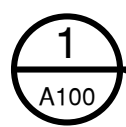
'Alternate' equipment and material is deemed to be a substitute which will/may require major revisions to the design intent and/or other items, equipment, connections, space allocation, compliance, etc. 'Alternates' must be clearly identified/listed separately on the bid form, with the amount to be added or subtracted for each substitution. If in the preparation of the tender, the contractor neglects to name the manufacturer of an 'Alternate', it will be understood that specified equipment/material will be provided. The owner is under no obligation to select 'Alternate' equipment/material.

Note that mechanical rooms and other spaces have been designed with the equipment of the specified manufacturer. The onus shall be on the mechanical contractor in conjunction with the "equal" or "alternate" supplier(s) to ensure that their equipment will meet the required performance characteristics as well as fit properly in the rooms including allowing for the required access and service spaces. Any additional costs incurred as a result of modifications to the system or room layout, or modifications required by any other trades shall be borne by the mechanical contractor.

<u>Item</u>	<u>Proposed Manufacturer</u>
1. Grilles, Registers, Diffusers	Nailor, Titus, AirVector
2. Fire Dampers	Nailor, Ruskin
3. Air Curtain	Schwank/Powered Air
4. VAV Boxes	Titus
5. Reheat Coils (Hydronic)	Precision Coils

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SCALE: 1/4" = 1'-0"

 EXISTING MILLWORK TO BE REMOVED

1. ALL DIMENSIONS ARE TAKEN TO THE FINISHED FACE OF PARTITIONS U.N.O.
2. ALL GLAZING PARTITIONS TO BE REMOVED ARE TO BE RECYCLED IF POSSIBLE.
3. WHERE PARTITIONS HAVE BEEN REMOVED, CONTRACTOR TO MAKE GOOD OR REPLACE ALL EXISTING CEILING DAMAGED BY PREVIOUS PARTITION INSTALLATION.
4. EXISTING NON-FIXED EQUIPMENT AND FURNISHINGS TO BE REMOVED AND DISPOSED OF.
5. REMOVE ALL EXISTING CARPET AND VCT FLOORING C/W BASE AND ALL ASSOCIATED ADHESIVES IN THE RENOVATION AREA.
6. EXISTING ROLLER SHADES/BLINDS TO REMAIN AND BE PROTECTED DURING DEMOLITION + NEW CONSTRUCTION.
7. REMOVE BASE BUILDING EXTERIOR WINDOW BLINDS/ROLLER SHADES PRIOR TO COMMENCEMENT OF DEMOLITION, UNLESS NOTED OTHERWISE. STORE IN A SAFE PLACE FOR DURATION OF CONSTRUCTION PERIOD. CLEAN AND REINSTALL WHEN CONSTRUCTION IS COMPLETE.
8. PROTECT ALL EXISTING ASSEMBLIES NOT INCLUDED IN THE SCOPE OF WORK. FAILURE TO PROTECT EXISTING ASSEMBLIES SHALL RESULT IN FULL REPLACEMENT OF DAMAGES INCURRED BY THE GENERAL CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNERS OR THIS CONTRACT.
9. DEMOLITION DRAWINGS SHALL BE COORDINATED WITH ALL NEW AND RENOVATED CONSTRUCTION PLANS AND DRAWINGS. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE AND EXECUTE ALL ASPECTS OF DEMOLITION REQUIRED TO SUIT NEW WORK WHETHER SPECIFIED IN DEMOLITION DRAWINGS OR NOT.

MULTI-PURPOSE ROOM TO BE SEPARATE PRICE ITEM #1,  
ALL WORK ASSOCIATED WITH THE ADDITION OF THIS ROOM  
TO BE PROVIDED AS A SEPARATE PRICE, PLEASE NOTE THE  
INFILL OF THE RAMP AREA IS TO BE PART OF THE BASE  
PRICE, NOT THE SEPARATE PRICE

- STEEL RAILING TO BE CUT NOW A MAXIMUM OF 4" AWAY  
FROM A POST TO THE FLOOR, SUPPORT FOR THE RAILING  
TO BE CONNECTED TO THE NEW PONY WALL.  
CONTRACTOR TO REVIEW WITH DESIGNER ON SITE.

REVISIONS:

DRAWING NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED BEFORE WORK COMMENCES. ANY DISCREPANCIES, VARIANCES, OR MISSING DIMENSIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR BEFORE WORK PROCEEDS.

ALL STRUCTURAL SYSTEMS AND COMPONENTS SHALL BE APPROVED BY A PROFESSIONAL ENGINEER. WOLSEY WALL ARCHITECTURE & INTERIOR DESIGN ASSUMES NO LIABILITY FOR ANY FAILURE IN THE STRUCTURAL SYSTEM OR THE COMPONENTS THERE-OF.

SEAL: \_\_\_\_\_ SEAL: \_\_\_\_\_

ARCHITECTURE / INTERIOR DESIGN:



**ARCHITECTURE & INTERIOR DESIGN**  
KELOWNA BRITISH COLUMBIA, CANADA Ph: (778) 363-4916  
WINNIPEG MANITOBA, KENORA ONTARIO, CANADA Ph: (204) 992-4966

PROJECT:

MONCRIEF CONSTRUCTION  
SPORTS CENTRE  
18 MIKE RICHARDS WAY  
KENORA, ON P9N 1L2

DRAWING TITLE

DEMOLITION PLANS

SCALE:	FILE NO:
AS NOTED	<b>24.1065</b>
DATE:	DRAWING #:
MARCH 25, 2025	
DRAWN BY:	
JLS	<b>A100r1</b>

# A100r1





1  
A002

SP #1

- 1
- 2
- 3
- 4
- 5
- 6
- 7

DRAWN BY: JLS

A200r1

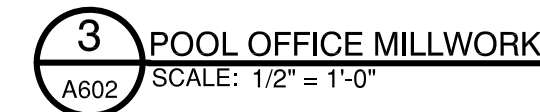
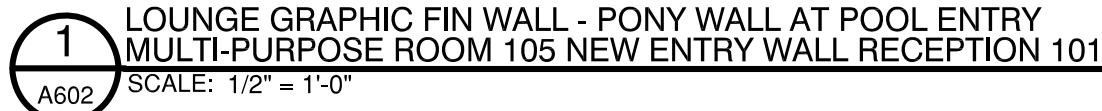
DRAWN BY: JLS

A200r1









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SEAL: \_\_\_\_\_ SEAL: \_\_\_\_\_

ARCHITECTURE / INTERIOR DESIGN:



# WOLSEY WALL

**ARCHITECTURE & INTERIOR DESIGN**  
KELOWNA BRITISH COLUMBIA, CANADA Ph: (778) 363-4916  
WINNIPEG MANITOBA, KENORA ONTARIO, CANADA Ph: (204) 992-4966

PROJECT:

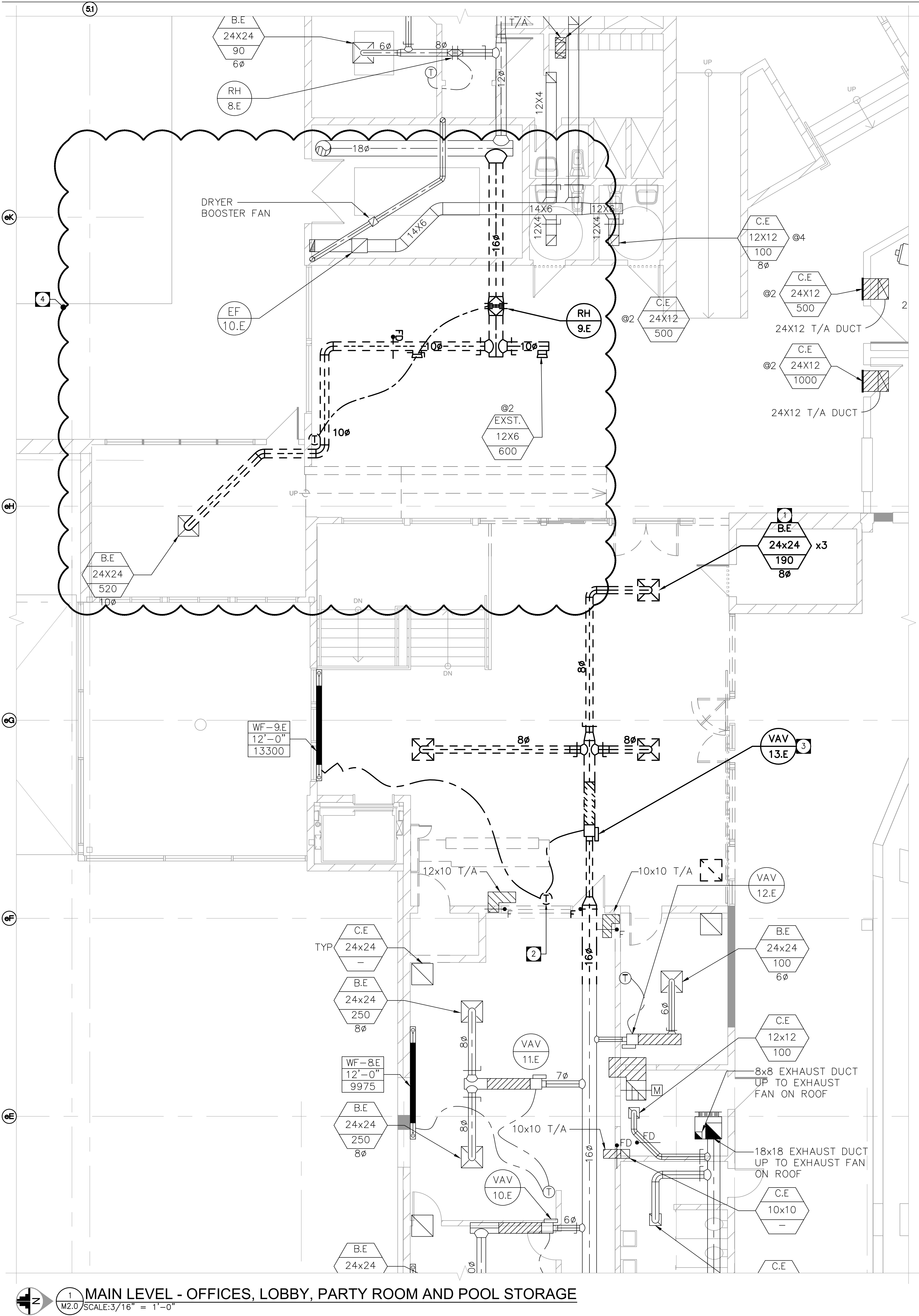
MONCRIEF CONSTRUCTION  
SPORTS CENTRE  
18 MIKE RICHARDS WAY  
KENORA, ON P9N 1L2

DRAWING TITLE

## INTERIOR ELEVATIONS

SCALE:	FILE NO:
AS NOTED	<b>24.1085</b>
DATE:	DRAWING #:
MARCH 25, 2025	
DRAWN BY:	<b>A602r1</b>
JLS	





GENERAL NOTES:

- A. BIDDERS MUST EXAMINE THE SITE AND EXISTING CONDITIONS AFFECTING THE PROJECT. EXAMINE THE COMPLETE SET OF CONTRACT DOCUMENTS TO ENSURE THAT THE WORK CAN BE CARRIED OUT WITHOUT SIGNIFICANT CHANGES TO THE INTENT OF THE DOCUMENTS. NO FUTURE ALLOWANCE WILL BE MADE FOR CHANGES UNLESS THE ENGINEER HAS BEEN NOTIFIED IN WRITING OF ANY DISCREPANCIES OR INTERFERENCES, PRIOR TO THE CLOSE OF TENDERS. NO ALLOWANCE WILL BE MADE FOR ITEMS THAT SHOULD HAVE BEEN NOTED DURING A PRE-TENDER SITE INSPECTION.
- B. THE LOCATION, ROUTING AND ELEVATION OF ALL NEW AND EXISTING SERVICES AND UTILITIES AS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED AS APPROXIMATIONS ONLY. VERIFY EXACT LOCATIONS, ROUTINGS AND ELEVATIONS OF ALL SERVICES PRIOR TO COMMENCING WORK, AND ASSUME RESPONSIBILITY FOR LAYING OUT ALL WORK. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR ANY DAMAGE TO EXISTING SERVICES AND UTILITIES.
- C. BIDDING CONTRACTORS ARE TO VISIT SITE TO VERIFY EXISTING INFORMATION PRIOR TO SUBMITTING TENDER PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES PRIOR TO BID BEING SUBMITTED. ANY CHANGES BROUGHT FORWARD DUE TO EXISTING CONDITIONS POST TENDER SHALL BE AT CONTRACTORS COST.
- D. MECHANICAL CONTRACTOR SHALL ALLOW IN HIS TENDER QUOTATION FOR ALL REQUIRED MODIFICATIONS TO EXISTING SYSTEMS (IE. REROUTING OF EXISTING PIPING, CONDENSATE DRAIN LINES, VENT PIPING, SPRINKLER SYSTEM, ETC.) AS DEMAED NECESSARY DUE TO RENOVATION WORK.
- E. THIS DRAWING IS A PART OF A SET AND IS TO BE READ IN CONJUNCTION WILL ALL CONTRACT DOCUMENTS FROM ALL DISCIPLINES. REFER TO ARCHITECTURAL DOCUMENTS FOR A COMPREHENSIVE LIST. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
- F. COORDINATE ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, ELECTRICAL WORK, ETC.
- G. THE DRAWINGS FOR MECHANICAL WORK ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
- H. ALL ABANDONED OR NOT REQUIRED SERVICES SHALL BE CAPPED-OFF BACK AT MAINS IN CONCEALED SPACES / BELOW FLOORS / IN CEILINGS, ETC. AND REMOVED.
- I. DEMOLISH EXISTING DUCTWORK, AIR TERMINALS, ASSOCIATED PARTS AND ACCESSORIES. ALL ABANDONED ROOF AND WALL PENETRATIONS TO BE SEALED, MADE WEATHER TIGHT, MADE GOOD, AND INSULATED TO GOVERNING CODE.

DRAWING NOTES:##

1. DEMOLISH EXISTING SUPPLY DIFFUSER & DUCTWORK TO SUIT RENOVATION. REFER TO HVAC RENOVATION PLAN FOR NEW LOCATION.
2. RELOCATE EXISTING THERMOSTAT. SURFACE MOUNTED CONDUIT IS NOT ACCEPTABLE. PATCH AND MAKE GOOD PREVIOUS LOCATION.
3. DEMOLISH EXISTING VAV BOX.
4. PROVIDE SEPARATE PRICE #1 FOR DEMOLITION WORK FOR MULTIPURPOSE ROOM MECHANICAL SYSTEM. REFER TO SPECIFICATION FRONT END.

**TOWER ENGINEERING**  
Project: 231549  
Calgary: 403-235-2655  
Kelowna: 250-765-7224  
Winnipeg: 204-925-1150  
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LEVEL	DATE	DESCRIPTION
1	25/04/11	ISSUED FOR M ADDENDUM 02
0	25/03/26	ISSUED FOR CONSTRUCTION

REVISIONS:

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SEAL: SEAL:

COA# 11699958

ARCHITECTURE / INTERIOR DESIGN

**W**

**WOLSEY WALL**

ARCHITECTURE & INTERIOR DESIGN  
KELOWNA BRITISH COLUMBIA, CANADA Ph: (250) 863-4916  
WINNIPEG MANITOBA, KENORA ONTARIO, CANADA Ph: (204) 992-4966

PROJECT:

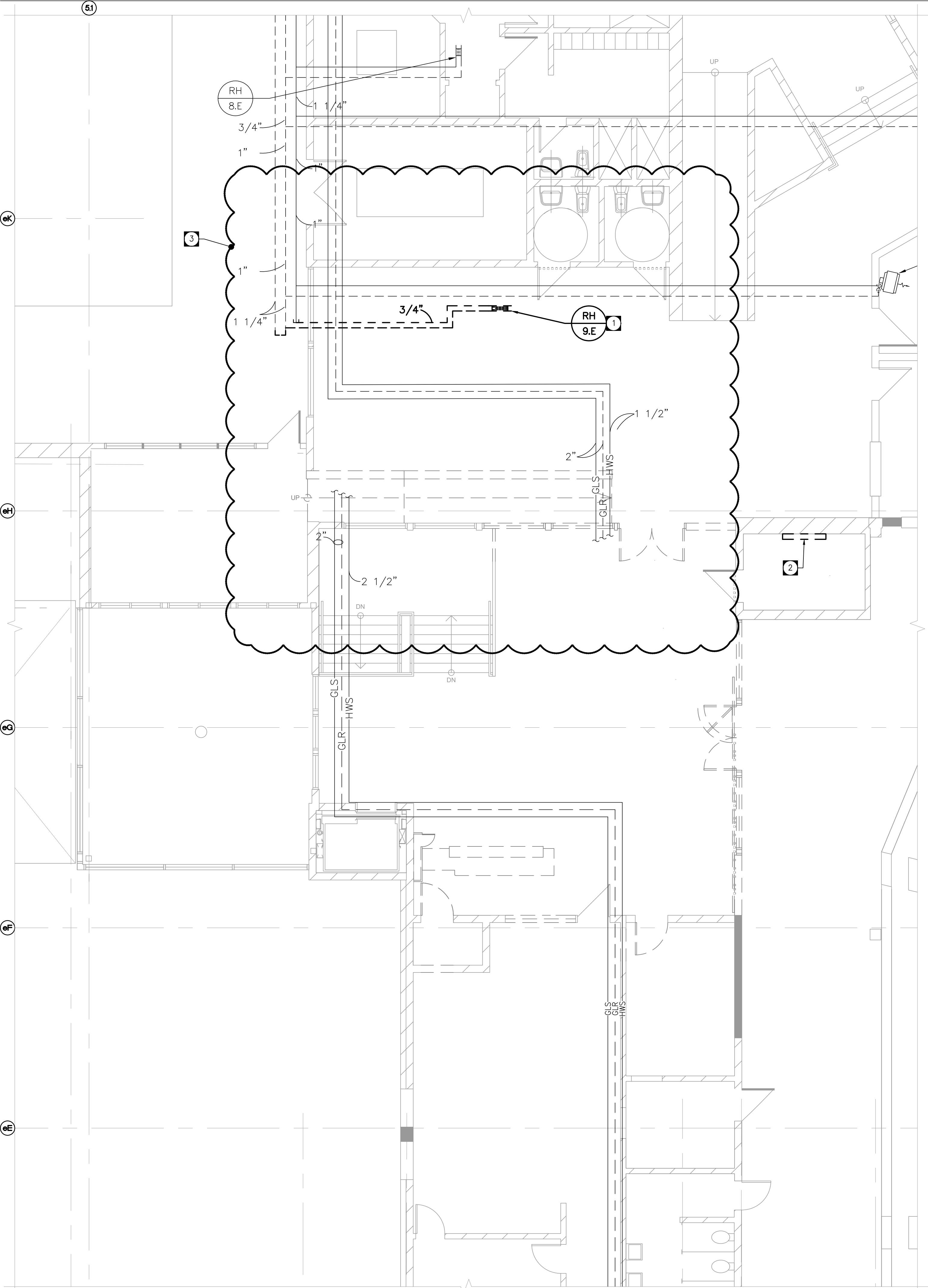
MONCRIEF CONSTRUCTION  
SPORTS CENTER  
18 MIKE RICHARDS WAY  
KENORA, ON P9N 1L2

DRAWING TITLE

LOBBY AND  
MULTI-PURPOSE ROOM  
HVAC – DEMOLITION  
PLAN

SCALE: AS NOTED	FILE NO: 24.1095
DATE: 2025-04-11	DRAWING #:
DRAWN BY: CParaschiv	M2.0-R1





GENERAL NOTES:

- A. BIDDERS MUST EXAMINE THE SITE AND EXISTING CONDITIONS AFFECTING THE PROJECT. EXAMINE THE COMPLETE SET OF CONTRACT DOCUMENTS TO ENSURE THAT THE WORK CAN BE CARRIED OUT WITHOUT SIGNIFICANT CHANGES TO THE INTENT OF THE DOCUMENTS. NO FUTURE ALLOWANCE WILL BE MADE FOR CHANGES UNLESS THE ENGINEER HAS BEEN NOTIFIED IN WRITING OF ANY DISCREPANCIES OR INTERFERENCES, PRIOR TO THE CLOSE OF TENDERS. NO ALLOWANCE WILL BE MADE FOR ITEMS THAT SHOULD HAVE BEEN NOTED DURING A PRE-TENDER SITE INSPECTION.
- B. THE LOCATION, ROUTING AND ELEVATION OF ALL NEW AND EXISTING SERVICES AND UTILITIES AS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED AS APPROXIMATIONS ONLY. VERIFY EXACT LOCATIONS, ROUTINGS AND ELEVATIONS OF ALL SERVICES PRIOR TO COMMENCING WORK, AND ASSUME RESPONSIBILITY FOR LAYING OUT ALL WORK. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR ANY DAMAGE TO EXISTING SERVICES AND UTILITIES.
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- F. COORDINATE ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, ELECTRICAL WORK, ETC.
- G. PROVIDE COMPLETE AND OPERABLE MECHANICAL SYSTEMS (HVAC, PLUMBING AND FIRE PROTECTION) AS INDICATED ON THE DRAWINGS, AS SPECIFIED, AND AS REQUIRED BY CODE.
- H. THE DRAWINGS FOR MECHANICAL WORK ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
- I. INSTALL ALL MECHANICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
- J. ALL PIPING PENETRATING FIREWALL SHALL BE FIRE STOPPED.
- K. CONTRACTOR TO PROVIDE ACCURATE AS-BUILT AT COMPLETION OF PROJECT.
- L. TYPICAL HYDRONIC SUPPLY/RETURN BRANCH PIPING SHALL BE 19MMØ UNLESS NOTED OTHERWISE.

DRAWING NOTES:##

1. DEMOLISH EXISTING HYDRONIC REHEAT COIL. DEMOLISH & CAP HYDRONIC HEATING PIPING RUN-OUTS AS REQUIRED TO SUIT RENOVATION.
2. DEMOLISHED EXISTING WALL FIN BASEBOARD HEATER. DEMOLISH AND CAP HYDRONIC HEATING PIPING AS REQUIRED TO SUIT RENOVATION.
3. PROVIDE SEPARATE PRICE #1 FOR DEMOLITION WORK FOR MULTIPURPOSE ROOM MECHANICAL SYSTEM. REFER TO SPECIFICATION FRONT END.

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SEAL:	SEAL:	
		COA# 11699958

ARCHITECTURE / INTERIOR DESIGN

**W**

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WINNIPEG MANITOBA, KENORA ONTARIO, CANADA Ph: (204) 992-4966

PROJECT:

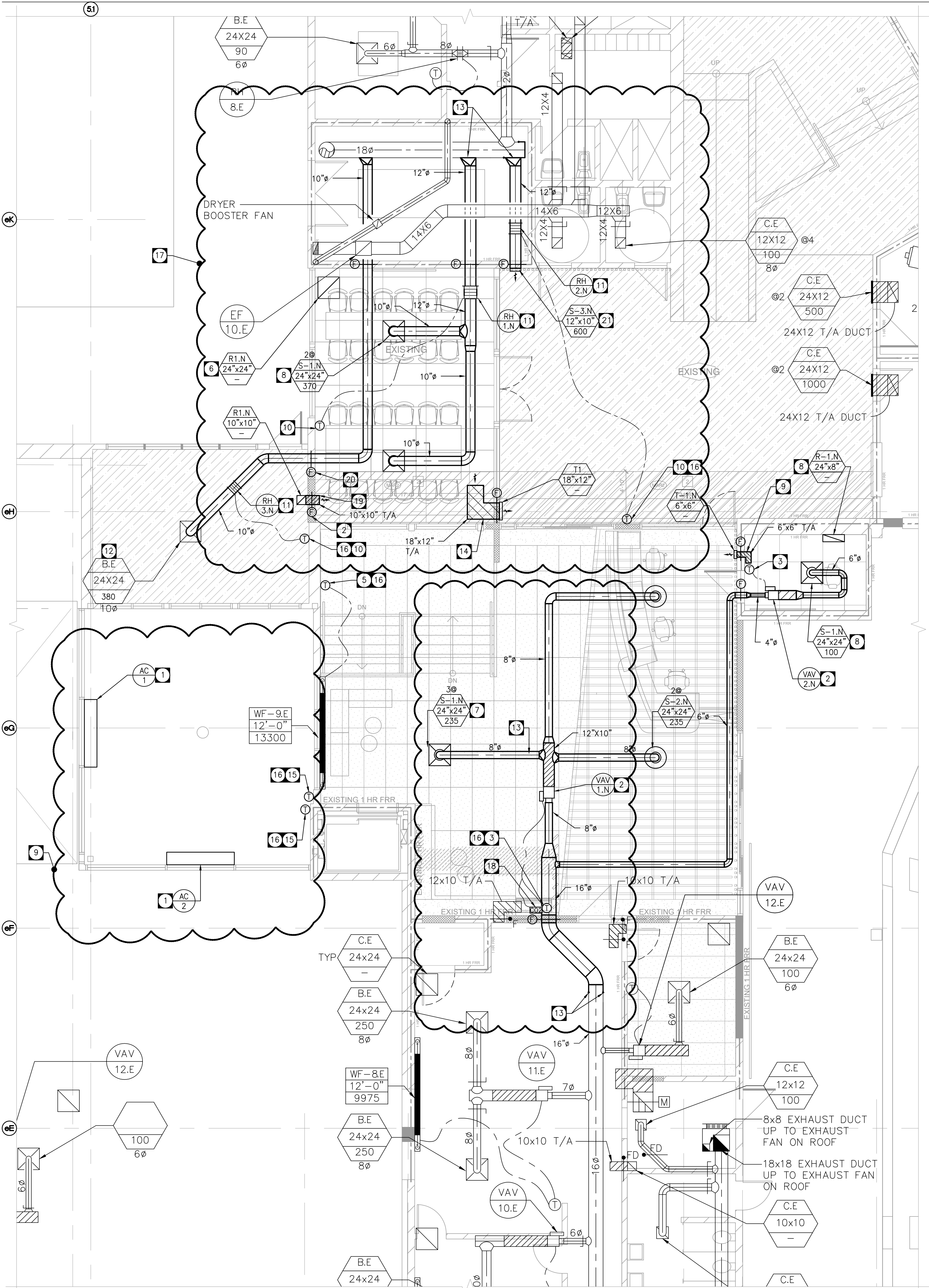
MONCRIEF CONSTRUCTION  
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KENORA, ON P9N 1L2

DRAWING TITLE

LOBBY AND  
MULTI-PURPOSE ROOM  
HYDRONIC – DEMOLITION  
PLAN

SCALE: AS NOTED	FILE NO: 24.1095
DATE: 2025-04-11	DRAWING #:
DRAWN BY: CParaschiv	





1 MAIN LEVEL - OFFICES, LOBBY, PARTY ROOM AND POOL STORAGE  
M3.1 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- BIDDERS MUST EXAMINE THE SITE AND EXISTING CONDITIONS AFFECTING THE PROJECT. EXAMINE THE COMPLETE SET OF CONTRACT DOCUMENTS TO ENSURE THAT THE WORK CAN BE CARRIED OUT WITHOUT SIGNIFICANT CHANGES TO THE INTENT OF THE DOCUMENTS. NO FUTURE ALLOWANCE WILL BE MADE FOR CHANGES UNLESS THE ENGINEER HAS BEEN NOTIFIED IN WRITING OF ANY DISCREPANCIES OR INTERFERENCES, PRIOR TO THE CLOSE OF TENDERS. NO ALLOWANCE WILL BE MADE FOR ITEMS THAT SHOULD HAVE BEEN NOTED DURING A PRE-TENDER SITE INSPECTION.
- THE LOCATION, ROUTING AND ELEVATION OF ALL NEW AND EXISTING SERVICES AND UTILITIES AS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED AS APPROXIMATIONS ONLY. VERIFY EXACT LOCATIONS, ROUTINGS AND ELEVATIONS OF ALL SERVICES PRIOR TO COMMENCING WORK, AND ASSUME RESPONSIBILITY FOR LAYING OUT ALL WORK. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR ANY DAMAGE TO EXISTING SERVICES AND UTILITIES.
- BIDDING CONTRACTORS ARE TO VISIT SITE TO VERIFY EXISTING INFORMATION PRIOR TO SUBMITTING TENDER PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES PRIOR TO BID BEING SUBMITTED. ANY CHANGES BROUGHT FORWARD DUE TO EXISTING CONDITIONS POST TENDER SHALL BE AT CONTRACTORS COST.
- MECHANICAL CONTRACTOR SHALL ALLOW IN HIS TENDER QUOTATION FOR ALL REQUIRED MODIFICATIONS TO EXISTING SYSTEMS (IE. REROUTING OF EXISTING PIPING, CONDENSATE DRAIN LINES, VENT PIPING, SPRINKLER SYSTEM, ETC.) AS DEEMED NECESSARY DUE TO RENOVATION WORK.
- THIS DRAWING IS A PART OF A SET AND IS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL DISCIPLINES. REFER TO ARCHITECTURAL DOCUMENTS FOR A COMPREHENSIVE LIST. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
- COORDINATE ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, ELECTRICAL WORK, ETC.
- PROVIDE COMPLETE AND OPERABLE MECHANICAL SYSTEMS (HVAC, PLUMBING AND FIRE PROTECTION) AS INDICATED ON THE DRAWINGS, AS SPECIFIED, AND AS REQUIRED BY CODE.
- THE DRAWINGS FOR MECHANICAL WORK ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
- INSTALL ALL MECHANICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
- ALL PIPING PENETRATING FIREWALL SHALL BE FIRE STOPPED.
- CONTRACTOR TO ENGAGE STRUCTURE ENGINEER TO VERIFY ALL SEISMIC REQUIREMENTS FOR PIPE HANGING METHODS.
- ALL DUCT DIMENSIONS DENOTE INTERNAL "FREE" AREA OF THE DUCT.
- CONTRACTOR TO PROVIDE ACCURATE AS-BUILT AT COMPLETION OF PROJECT.
- ALL BRANCH DUCT WORK TO HAVE BALANCING DAMPERS.
- DUCTWORK IS TO RUN AS HIGH AS POSSIBLE (BETWEEN JOIST SPANS WHERE APPLICABLE) & SHALL OFFSET BELOW BEAMS AS REQUIRED (WHETHER SHOWN ON THE DRAWINGS OR NOT). MAKE PROVISIONS TO ROUTE ALL DUCTWORK AS NECESSARY TO ACCOMMODATE THE JOISTS & BEAMS LOCATED ON SITE.
- COORDINATE DIFFUSER, REGISTER, AND GRILLE LOCATIONS WITH ARCHITECTURAL CEILING PLANS, LIGHTING, SPRINKLER HEADS AND OTHER CEILING ITEMS.
- COORDINATE DUCT RUNS WITH PIPING AND ALL OTHER TRADES.
- ALL DUCT DIMENSIONS DENOTE INTERNAL "FREE" AREA OF THE DUCT.
- PROVIDE BALANCING DAMPERS AS SHOWN AND AS REQUIRED TO ALLOW PROPER BALANCING SYSTEM. PROVIDE OPPOSED BLADE DAMPERS WITH THE DIFFUSER AND ADJUSTABLE FROM THE DIFFUSER FACE WHEN A DUCT MOUNTED BALANCE DAMPER WOULD NOT BE ACCESSIBLE.
- PROVIDE HYDRONIC BALANCING AS PER MECHANICAL SPECIFICATIONS. REFER TO DRAWING M601.

DRAWING NOTES:

- NEW AIR CURTAIN WITH ELECTRIC HEAT. AIR CURTAIN FAN CONTROLLED ON DOOR OPEN. AIR CURTAIN HEAT CONTROLLED BY REMOTE THERMOSTAT. CONNECT AIR CURTAIN AND THERMOSTAT TO EXISTING DDC SYSTEM.
- PROVIDE NEW VAV BOX WITH ELECTRIC HEAT. CONNECT TO EXISTING DDC SYSTEM.
- PROVIDE NEW THERMOSTAT FOR VAV BOX. CONNECT TO EXISTING DDC SYSTEM.
- BALANCE EXISTING VAV TO AIRFLOW NOTED. REFER TO MECHANICAL SCHEDULES.
- RELOCATE EXISTING THERMOSTAT FOR BASE BOARD CONTROL. MODIFY CONTROL WIRING AS REQUIRED TO SUIT NEW LOCATION. RECONNECT TO EXISTING DDC SYSTEM.
- NEW RETURN AIR GRILLE.
- RELOCATE EXISTING SUPPLY DIFFUSER TO APPROXIMATELY THIS LOCATION. PROVIDE NEW SUPPLY DUCT RUN-OUT TO SUIT NEW LOCATION.
- PROVIDE NEW SUPPLY DIFFUSER.
- PROVIDE SEPARATE PRICE #2 FOR ENTRANCE AIR CURTAIN SYSTEM. REFER TO FRONT END SPECIFICATION.
- PROVIDE NEW THERMOSTAT FOR HYDRONIC REHEAT COIL. CONNECT TO EXISTING DDC SYSTEM.
- NEW HYDRONIC REHEAT COIL. CONNECT TO EXISTING DDC SYSTEM.
- BALANCE EXISTING DIFFUSER TO AIRFLOW NOTED.
- TIE NEW DUCTWORK INTO EXISTING AT APPROXIMATELY THIS LOCATION. CONFIRM ON SITE.
- PROVIDE 18"x12" ACOUSTICALLY LINED TRANSFER ELBOW WITH FIRE DAMPER.
- PROVIDE REMOTE THERMOSTAT FOR AIR CURTAIN ELECTRIC HEAT. COORDINATE EXACT LOCATION ON SITE WITH GENERAL CONTRACTOR AND ALL TRADES.
- PROVIDE THERMOSTAT WITH LOCKABLE COVER.
- PROVIDE SEPARATE PRICE #1 FOR MULTIPURPOSE ROOM MECHANICAL SYSTEM.
- PROVIDE NEW CO2 SENSOR FOR VAV BOX. CONNECT TO EXISTING DDC SYSTEM.
- PROVIDE 10"x10" ACOUSTICALLY LINED TRANSFER ELBOW WITH FIRE DAMPER AND GRILLE IN STORAGE ROOM CEILING.
- PROVIDE FIRE DAMPER WHERE DUCT PENETRATES FIRE SEPARATION. COORDINATE EXACT LOCATION ON SITE WITH GENERAL CONTRACTOR AND ALL TRADES.
- PROVIDE NEW SUPPLY GRILLE IN EXISTING WALL. COORDINATE WALL OPENING WITH GENERAL CONTRACTOR AND ALL TRADES ON SITE.

**TOWER ENGINEERING**  
Project: 231549  
Calgary: 403-235-2655  
Kelowna: 250-765-7224  
Winnipeg: 204-925-1150  
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LEVEL	DATE	DESCRIPTION
1	25/04/11	ISSUED FOR M ADDENDUM 02
0	25/03/26	ISSUED FOR CONSTRUCTION

REVISIONS:

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SEAL: \_\_\_\_\_ SEAL: \_\_\_\_\_

COA# 11699958

ARCHITECTURE / INTERIOR DESIGN

**WOLSEY WALL**  
ARCHITECTURE & INTERIOR DESIGN  
KELOWNA BRITISH COLUMBIA, CANADA Ph: (778) 363-4916  
WINNIPEG MANITOBA, KENORA ONTARIO, CANADA Ph: (204) 992-4966

PROJECT:

MONCRIEF CONSTRUCTION  
SPORTS CENTER  
18 MIKE RICHARDS WAY  
KENORA, ON P9N 1L2

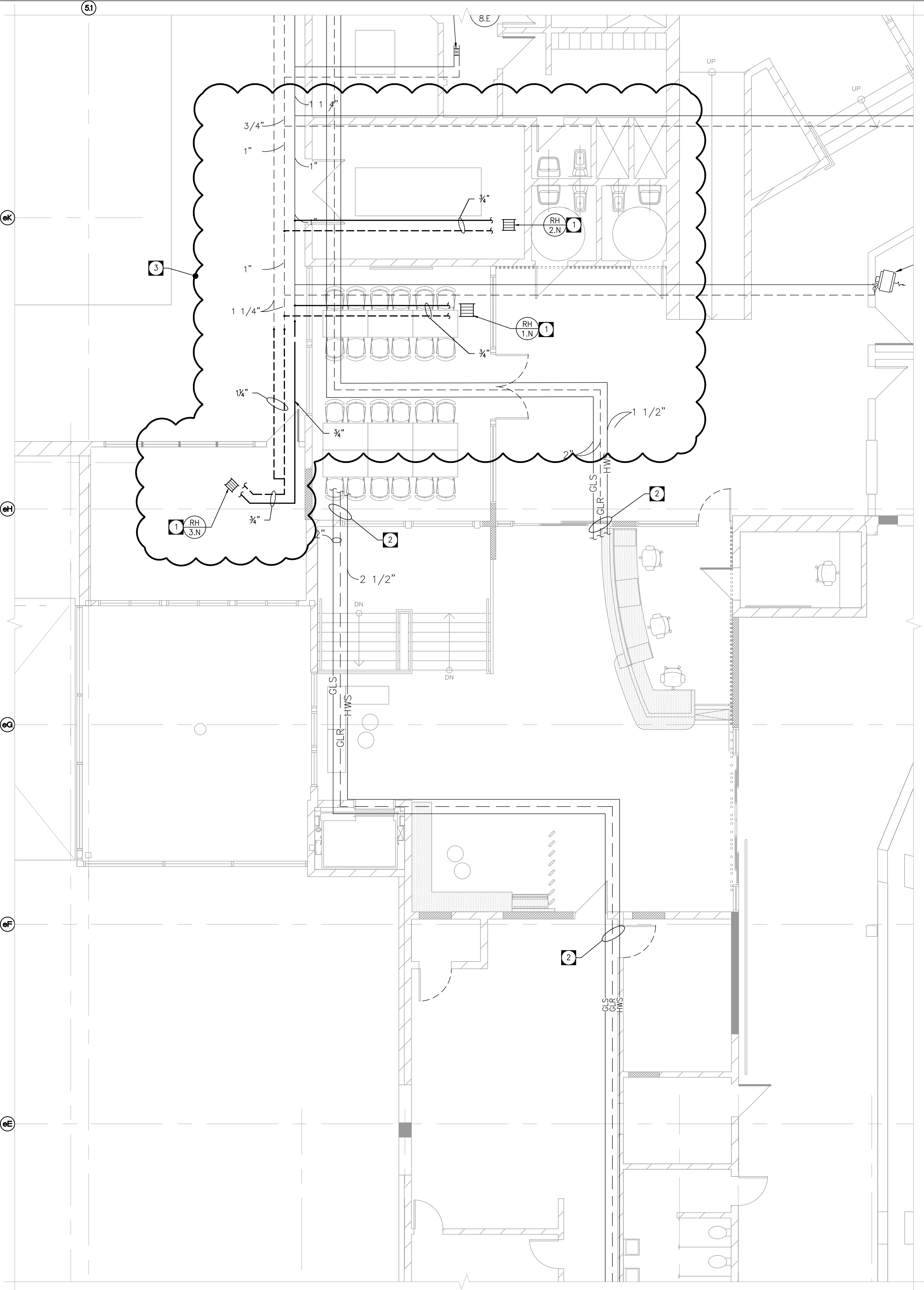
DRAWING TITLE

LOBBY AND  
MULTI-PURPOSE ROOM  
HVAC – RENOVATION  
PLAN

SCALE: AS NOTED	FILE NO: 24.1095
DATE: 2025-04-11	DRAWING #:
DRAWN BY: CParaschiv	

M3.1-R1





1 MAIN LEVEL - OFFICES, LOBBY, PARTY ROOM AND POOL STORAGE  
M3.2 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- A. BIDDERS MUST EXAMINE THE SITE AND EXISTING CONDITIONS AFFECTING THE PROJECT. EXAMINE THE COMPLETE SET OF CONTRACT DOCUMENTS TO ENSURE THAT THE WORK CAN BE CARRIED OUT WITHOUT SIGNIFICANT CHANGES TO THE INTENT OF THE DOCUMENTS. NO FUTURE ALLOWANCE WILL BE MADE FOR CHANGES UNLESS THE ENGINEER HAS BEEN NOTIFIED IN WRITING OF ANY DISCREPANCIES OR INTERFERENCES, PRIOR TO THE CLOSE OF TENDERS. NO ALLOWANCE WILL BE MADE FOR ITEMS THAT SHOULD HAVE BEEN NOTED DURING A PRE-TENDER SITE INSPECTION.
- B. THE LOCATION, ROUTING AND ELEVATION OF ALL NEW AND EXISTING SERVICES AND UTILITIES AS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED AS APPROXIMATIONS ONLY. VERIFY EXACT LOCATIONS, ROUTINGS AND ELEVATIONS OF ALL SERVICES PRIOR TO COMMENCING WORK, AND ASSUME RESPONSIBILITY FOR LAYING OUT ALL WORK. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR ANY DAMAGE TO EXISTING SERVICES AND UTILITIES.
- C. BIDDING CONTRACTORS ARE TO VISIT SITE TO VERIFY EXISTING INFORMATION PRIOR TO SUBMITTING TENDER PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES PRIOR TO BID BEING SUBMITTED. ANY CHANGES BROUGHT FORWARD DUE TO EXISTING CONDITIONS POST TENDER SHALL BE AT CONTRACTORS COST.
- D. MECHANICAL CONTRACTOR SHALL ALLOW IN HIS TENDER QUOTATION FOR ALL REQUIRED MODIFICATIONS TO EXISTING SYSTEMS (IE. REROUTING OF EXISTING PIPING, CONDENSATE DRAIN LINES, VENT PIPING, SPRINKLER SYSTEM, ETC.) AS DEEMED NECESSARY DUE TO RENOVATION WORK.
- E. THIS DRAWING IS A PART OF A SET AND IS TO BE READ IN CONJUNCTION WILL ALL CONTRACT DOCUMENTS FROM ALL DISCIPLINES. REFER TO ARCHITECTURAL DOCUMENTS FOR A COMPREHENSIVE LIST. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
- F. COORDINATE ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, ELECTRICAL WORK, ETC.
- G. PROVIDE COMPLETE AND OPERABLE MECHANICAL SYSTEMS (HVAC, PLUMBING AND FIRE PROTECTION) AS INDICATED ON THE DRAWINGS, AS SPECIFIED, AND AS REQUIRED BY CODE.
- H. THE DRAWINGS FOR MECHANICAL WORK ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
- I. INSTALL ALL MECHANICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
- J. ALL PIPING PENETRATING FIREWALL SHALL BE FIRE STOPPED.
- K. CONTRACTOR TO PROVIDE ACCURATE AS-BUILT AT COMPLETION OF PROJECT.
- L. TYPICAL HYDRONIC SUPPLY/RETURN BRANCH PIPING SHALL BE 19MMØ UNLESS NOTED OTHERWISE.
- M. PROVIDE HYDRONIC BALANCING AS PER MECHANICAL SPECIFICATIONS. REFER TO DRAWING M601.

DRAWING NOTES: 1. PROVIDE NEW HYDRONIC HEATING PIPING RUN-OUTS TO NEW HEATING COILS. REFER TO MECHANICAL DETAIL FOR CONTINUATION. 2. PROVIDE FIRE STOPPING AT EXISTING PENETRATIONS THROUGH NEW WALL. 3. PROVIDE SEPARATE PRICE #1 FOR MULTIPURPOSE ROOM MECHANICAL SYSTEM. REFER TO FRONT END SPECIFICATION.



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SEAL:

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COA# 11699958

ARCHITECTURE / INTERIOR DESIGN



WOLSEY WALL

ARCHITECTURE & INTERIOR DESIGN

KELOWNA BRITISH COLUMBIA, CANADA Ph: (250) 363-4916  
WINNIPEG MANITOBA, KENORA ONTARIO, CANADA Ph: (204) 992-4966

PROJECT:

MONCRIEF CONSTRUCTION  
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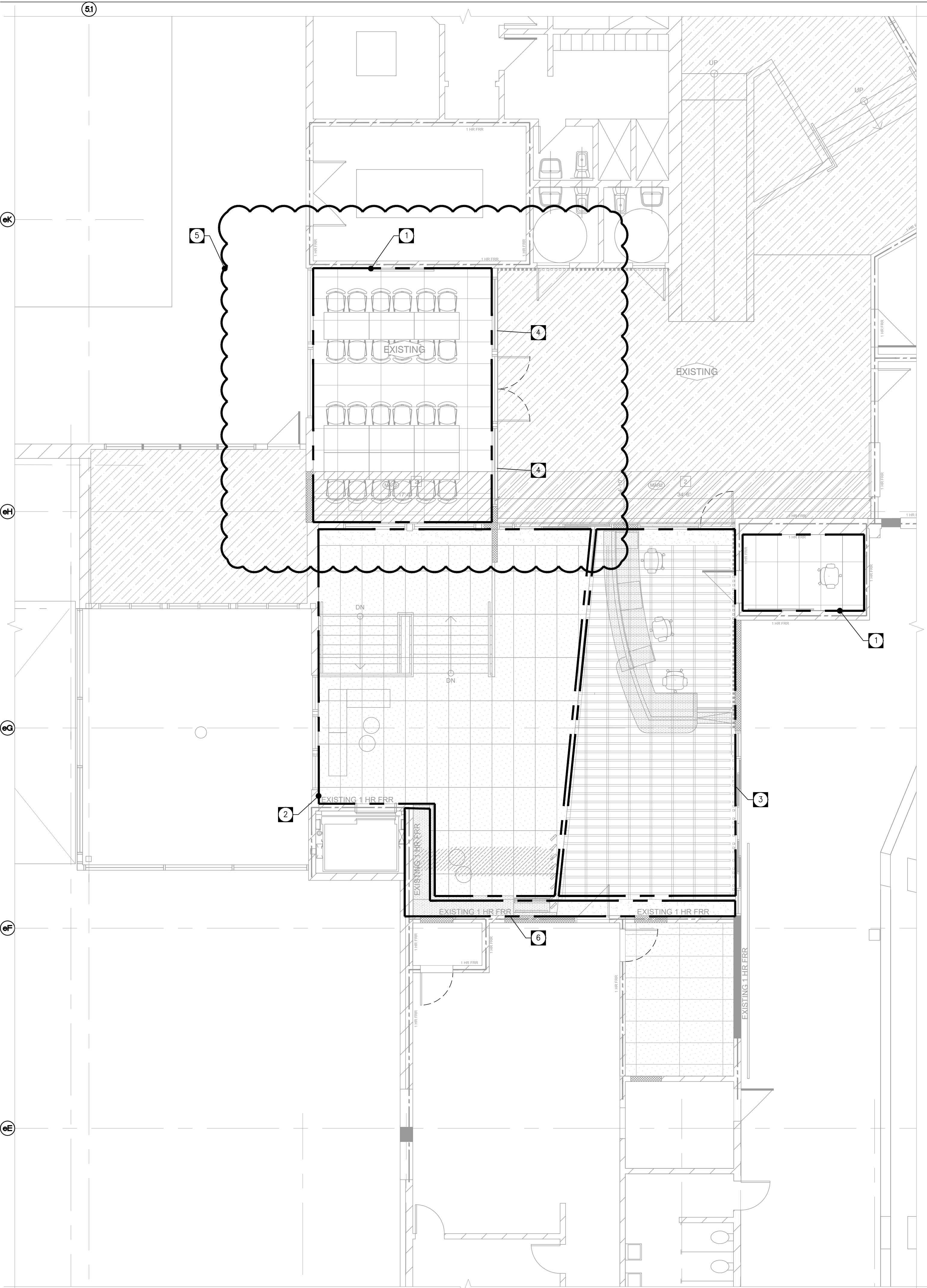
DRAWING TITLE

LOBBY AND  
MULTI-PURPOSE ROOM  
HYDRONIC – RENOVATION  
PLAN

SCALE: AS NOTED	FILE NO: 24.1095
DATE: 2025-04-11	DRAWING BY: CParaschiv
DRAWN BY: CParaschiv	

M3.2-R1





GENERAL NOTES:

- A. COORDINATE THE EXACT LOCATION OF SPRINKLER HEADS ON SITE WITH THE ELECTRICAL CONTRACTOR, GENERAL CONTRACTOR, ARCHITECTURAL REFLECTED CEILING PLAN, LIGHTING LAYOUT, ETC. TO ENSURE THAT THERE ARE NOT ANY CONFLICTS DURING INSTALLATION.
- B. SPRINKLER CONTRACTOR SHALL SUPPLY & INSTALL A COMPLETE N.F.P.A. #13 CODE COMPLIANT SPRINKLER SYSTEM. ALL NEW INSTALLATIONS SHALL MEET THE APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.
- C. CONTRACTOR SHALL VERIFY EXACT LOCATIONS, CONNECTIONS, SIZES, INVERTS, ETC. PRIOR TO TENDER CLOSE AND COMMENCEMENT OF WORK.
- D. COORDINATE SPRINKLER PIPING WITH ALL OTHER TRADES.
- E. CONTRACTOR SHALL REFER TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL DRAWINGS, EQUIPMENT SUPPLIER SHOP DRAWINGS, ETC FOR EXACT LOCATIONS, OF ALL FIXTURES, EQUIPMENT, ETC.
- F. ALL SPRINKLER INSTALLATIONS ETC. SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- G. FIRE PROTECTION/SPRINKLER SYSTEMS TO BE ENGINEERED AND STAMPED BY FIRE PROTECTION CONTRACTOR. FINAL DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED FOR REVIEW BY ARCHITECT & MECHANICAL ENGINEER PRIOR TO CONSTRUCTION & INSTALLATION OF ANY SYSTEMS.
- H. THESE DRAWINGS INDICATE REQUIREMENTS IN EXCESS OF THE MINIMUM CODE REQUIREMENTS, AND A BASIC DESIGN CONSISTENT WITH THE BUILDING LAYOUT, WHICH SHALL BE INCORPORATED INTO THE SYSTEM DESIGN.
- I. THE PIPE OUTLETS SHALL BE LARGE ENOUGH TO ACCOMMODATE A PENDANT TYPE HEAD DURING TENANT IMPROVEMENT WORK & SHALL BE SUPPLIED WITH ADEQUATELY SIZED PIPE NIPPLES AND/OR REDUCING COUPLINGS TO ACCOMMODATE THE FINAL SPRINKLER SIZE.
- J. THE SPRINKLER CONTRACTOR SHALL COORDINATE THE FINAL LOCATIONS OF ALL FLOW/TAMPER SWITCHES, SOLENOID VALVES, & DRY SPRINKLER SYSTEM COMPRESSOR(S), ETC... WITH THE ELECTRICAL DIVISIONS.

NOTE:  
THESE DRAWINGS ARE TO BE USED AS A GUIDE ONLY. THE EXACT LOCATION, ETC., OF SPRINKLER HEADS & PIPING SHALL BE THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR.

DRAWING NOTES:

- 1 NEW ACOUSTIC CEILING TILE CEILING IN THIS AREA. PROVIDE NEW SEMI-RECESSED PENDANT SPRINKLER HEADS WITH ESCUTCHEONS TO SATISFY NFPA 13. COORDINATE WITH INTERIOR DESIGNER'S REFLECTED CEILING PLAN DRAWINGS.
- 2 EXISTING ACOUSTIC CEILING TILE CEILING IN THIS AREA TO REMAIN AS IS. PROVIDE NEW SEMI-RECESSED PENDANT SPRINKLER HEADS WITH ESCUTCHEONS AS REQUIRED TO SATISFY NFPA 13. COORDINATE WITH INTERIOR DESIGNER'S REFLECTED CEILING PLAN DRAWINGS.
- 3 DROPPED FELT PANELS IN THIS AREA WITH EXPOSED STRUCTURE. PROVIDE NEW UPRIGHT SPRINKLER HEADS TO SATISFY NFPA 13. COORDINATE WITH INTERIOR DESIGNER'S REFLECTED CEILING PLAN DRAWINGS.
- 4 PROVIDE NEW SEMI-RECESSED PENDANT SPRINKLER HEADS WITH ESCUTCHEONS ON BOTH SIDES OF NEW WALL AS REQUIRED TO SATISFY NFPA 13 IN ORDER TO SUIT NEW WALL LOCATION. COORDINATE WITH INTERIOR DESIGNER'S REFLECTED CEILING PLAN DRAWINGS.
- 5 PROVIDE SEPARATE PRICE #1 FOR MULTIPURPOSE ROOM MECHANICAL SYSTEM. REFER TO FRONT END SPECIFICATION.
- 6 NEW DRYWALL CEILING AND BULKHEAD IN THIS AREA. PROVIDE NEW SEMI-RECESSED PENDANT SPRINKLER HEADS WITH ESCUTCHEONS TO SATISFY NFPA 13. COORDINATE WITH INTERIOR DESIGNER'S REFLECTED CEILING PLAN DRAWINGS.

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COA# 116699958

ARCHITECTURE / INTERIOR DESIGN  
**WOLSEY WALL**  
ARCHITECTURE & INTERIOR DESIGN  
KELOWNA BRITISH COLUMBIA, CANADA Ph: (250) 563-4916  
WINNIPEG MANITOBA, KENORA ONTARIO, CANADA Ph: (204) 992-4966

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DRAWING TITLE  
LOBBY AND  
MULTI-PURPOSE ROOM  
FIRE PROTECTION –  
RENOVATION PLAN

SCALE: AS NOTED	FILE NO: 24.1095
DATE: 2025-04-11	DRAWING #:
DRAWN BY: CParaschiv	

M3.3-R1